

INSPECTION REPORT



For the Property at:
2300 SAMPLE STREET
SARASOTA, FL 34236

Prepared for: SAMPLE REPORT
Inspection Date: Monday, January 12, 2009
Prepared by: Tim Beavers



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SUMMARY

2300 Sample Street, Sarasota, FL January 12, 2009

Report No. 1003, v.2

www.aainspecting.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

Note: For the purpose of this report the building is considered to be facing **North**.

The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Items listed in this report may inadvertently have been left off the summary sheet. Customer should read the entire report including general comments, limitations and recommendations. This summary page does not constitute as a supplement of the original inspection report. Please review the entire report for further recommendations and observations.

Roofing

General

- We recommend annual maintenance to the roof.

SLOPED ROOFING \ Asphalt shingles

Condition: • Where two sections of the roof meet creates “butterfly” style roofing. It appears that there has been standing water in this area.

Implication(s): This condition can be conducive to moisture intrusion.

Task: Improve and/or further evaluation

Exterior

RECOMMENDATIONS \ Overview

Condition: • The door is not balanced properly. Adjustment is needed. (The door should stay at any height without rising or falling.)

ROOF DRAINAGE \ Gutters

Condition: • [Clogged](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various

ROOF DRAINAGE \ Downspouts

Condition: • [Downspouts end too close to building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Condition: • [Not well secured](#)

Two downspout's were loose from the building.

Implication(s): Leakage

Location: Front & Rear of Property

Condition: • Should discharge 6ft. from home

The downspout(s) should discharge water at least six (6) feet from the house. Storm water should be encouraged to flow away from the building at the point of discharge.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Rear Left Side

Task: Repair

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WALLS \ Soffits and fascia

Condition: • [Paint or stain needed](#)

The soffit and fascia should be painted.

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Shortened life expectancy of material

Location: Various

Task: Improve

EXTERIOR GLASS \ General

Condition: • The window located in the kitchen has a vertical crack.

Location: Kitchen

Task: Replace

Condition: • The exterior surfaces of several windows were weathered. There was also fogging noted in a number of windows.

Implication(s): These windows may not with stand winds that are generated by tropical storms and/or hurricanes.

Location: North West Exterior

Task: Repair Improve

Time: When necessary

LANDSCAPING \ General

Condition: • [Trees or shrubs too close to house](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Chance of pests entering house | Material deterioration

Location: Various

Condition: • [Vines](#)

Vines growing on exterior walls should be kept trimmed away from siding, window trims, and the eaves to reduce risk of insect and/or water damage.

Implication(s): Chance of damage to finishes

Location: Various

Task: Improve

LANDSCAPING \ Fence

Condition: • Deteriorated

Samples of the fencing is in fair to poor condition. Minor repairs may be needed. The surface of the fencing in areas appears to be deteriorated and lacking maintenance. We recommend painting and/or staining to prevent moisture damage.

Implication(s): Material deterioration

Location: Various locations

Task: Improve

Time: Ongoing Regular maintenance

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GARAGE \ Vehicle door operators

Condition: • Garage door opener(s) appeared functional however, they may be nearing there useful life cycle. We recommend monitoring and/or budgeting for repair/replacement.

Location: Garage

Task: Monitor

Time: When necessary

Condition: • [Fails to auto reverse](#)

The garage door opener did not automatically reverse under resistance to closing. There is a serious risk of injury, particularly to children, under this condition. The opener may need adjustment or replacement.

Implication(s): Physical injury

Location: Garage

Task: Repair

Structure

ROOF FRAMING \ Rafters/trusses

Condition: • [Modified or spliced](#)

There were a number of trusses cut for installation of attic access ladder.

Implication(s): Weakened structure | Chance of structural movement

Location: Garage

Task: Repair

Electrical

RECOMMENDATIONS \ Overview

Condition: • This sub panel was not inspected. We recommend prior to the close of this transaction the sub panel be inspected for proper installation. There was a cabinet permanently installed blocking access to sub / auxiliary panel.

Location: Garage

Task: Further evaluation

DISTRIBUTION SYSTEM \ Wiring - damaged or exposed

Condition: • [Exposed in attics](#)

Exposed wiring should be secured in attic area.

Implication(s): Electric shock

Location: Rear Attic

Task: Repair

Time: Immediate

DISTRIBUTION SYSTEM \ Wiring - installation

Condition: • [Not well secured](#)

Loose wiring should be secured in attic area.

Implication(s): Electric shock | Fire hazard

Location: Various Attic

Task: Repair

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DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • [Inoperative](#)

An outlet at the rear of the house is inoperative. This outlet and/or circuit should be investigated.

Implication(s): Equipment inoperative

Location: Rear Exterior Wall

Task: Repair

Heating

ELECTRIC FURNACE \ Life expectancy

Condition: • [Near end of life expectancy](#)

System appears to be nearing the end of its useful life expectancy. We recommend budgeting for high repair cost and/or replacement.

Task: Monitor Upgrade

Time: When necessary

ELECTRIC FURNACE \ General

Condition: • There appears to be damage to the return air plenum. There are a number of holes. Air leaks in the plenum can allow contaminated air to be drawn into the system and distributed throughout the building. And by passes the filter to help maintain the system.

Implication(s): Dirty air disturbed through out the house. Shorten the life expectancy of the unit.

Task: Repair

Time: Immediate

Condition: • The air filter was not seated properly and appeared not to be an adequate size. We recommend replacing the filter with the proper size and/or dimensions.

Task: Replace

Condition: • Openings in the air handler cases should be sealed to prevent entry of unfiltered air.

Task: Repair

ELECTRIC FURNACE \ Ducts, registers and grilles

Condition: • The duct / venting system is partially deteriorated and damaged. There is a loss of heat / cooled air leaking in the attic. We recommend correcting this condition.

Implication(s): Heat & cooled air loss. Higher energy cost. May cause mold/fungi growth in attic.

Location: Attic

Task: Repair Improve

FIREPLACE \ Gas fireplace

Condition: • [Damper in existing fireplace not fixed open](#)

Implication(s): Hazardous combustion products entering home

Task: Replace

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Cooling & Heat Pump

HEAT PUMP \ Life expectancy

Condition: • [Near end of life expectancy](#)

Implication(s): Reduced comfort

HEAT PUMP \ Refrigerant lines

Condition: • [Missing insulation](#)

Damaged insulation on refrigerant lines should be repaired at the exterior.

Implication(s): Reduced system life expectancy | Increased heating and cooling costs | Reduced comfort

Location: Left Side Exterior

Task: Repair

Plumbing

FIXTURES AND FAUCETS \ Faucet

Condition: • The faucet is showing signs of age. Updating faucet(s) over time should be anticipated.

Location: Kitchen

Task: Improve

FIXTURES AND FAUCETS \ Shower stall enclosure

Condition: • [Caulking loose, missing or deteriorated](#)

The shower faucet pipe in the hallway bathroom needs to be sealed at the wall. This condition is conducive to moisture intrusion into concealed spaces.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Hallway Bathroom

Task: Repair

FIXTURES AND FAUCETS \ Hose bibb

Condition: • [Leak or drip](#)

The hose bib is leaky during operation at the exterior rear of the building.

Location: Rear Exterior Wall

Task: Repair

Interior

WINDOWS \ Glass (glazing)

Condition: • Safety glass not installed

Safety glazing could not be verified on the windows located above the tub area. We recommend verification of safety glass and/or replacement for safety reasons. In the event someone slips and falls into the window they could become severely injured. We recommend correcting the condition(s) noted.

Implication(s): Physical injury

Location: Master Bathroom

Task: Repair Further evaluation

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DOORS \ Doors and frames

Condition: • Door(s) should be trimmed or adjusted as necessary to work properly

Location: Master Bedroom

Task: Improve

DOORS \ Hardware

Condition: • Damaged or non-functional door hardware should be improved. The door latch was installed improperly and the door fails to close and latch properly.

Location: Master Bedroom

Task: Repair

CARPENTRY \ Countertops

Condition: • There appears to be a small gap between countertop and wall. We recommend caulking and/or sealing gap.

Location: Kitchen

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

Description

General: • In all, the roof coverings show evidence of normal wear and tear for a home of this age.

Sloped roofing material: • The roof type is gable. • The roof covering is asphalt fiberglass dimensional shingles. • This type of shingle has a typical lifespan of 15-17 years in this part of the country. This varies widely depending on various factors such as exposure to sunlight, slope of the roof, ventilation of attic spaces, and color of the shingles. (Dark shingles achieve lower lifespans.) Lifespans are shorter here due mainly to the fact that the sunlight is stronger and shines more than in other areas.

Flat roofing material: • [Roll roofing](#)

Limitations

Roof inspection limited/prevented by: • The report is not intended to be conclusive regarding the life span of the roofing system or how long it will remain watertight in the future. The inspection and report are based on visible and apparent conditions at the time of the inspection. Unless rain has fallen just prior to the inspection, it may not be possible to determine if active leakage is occurring. In most homes, not all attic areas are readily accessible for inspection. Conclusions made by the inspector do not constitute a warranty, guaranty, or policy of insurance.

We recommend that you ask the seller about the presence of any roof leaks, including past leakage. If repairs are needed, a licensed roofing contractor should make them. All roofs require periodic maintenance to achieve typical life spans and should be inspected annually. Expect to make minor repairs to any roof.

Inspection performed: • By walking on roof

Recommendations

General

1. • We recommend annual maintenance to the roof.

SLOPED ROOFING \ Asphalt shingles

2. **Condition:** • Mastic was used in areas of the roof that typically are not used. This maybe a sign that an amateur made repairs to the roofing materials. We recommend consulting with owner for any prior repairs, leaks and/or improvements.

Location: Southeast Roof

Task: Improve

Time: Unpredictable

3. **Condition:** • Where two sections of the roof meet creates "butterfly" style roofing. It appears that there has been standing water in this area.

Implication(s): This condition can be conducive to moisture intrusion.

Task: Improve and/or further evaluation

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1.

EXTERIOR

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Description

General: • Gable end walls are sided with vinyl.

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge: • [Above grade](#)

Lot slope: • [Away from house](#)

Wall surfaces - masonry: • [Block](#)

Wall surfaces : • [Stucco](#)

Soffit and fascia: • [Wood](#) • [Aluminum](#)

Driveway: • Concrete

Walkway: • Concrete

Porch: • Interlocking brick

Patio: • Patio Cover - 2" wooded separated.

Patio: • Concrete

Fence: • Wood

Limitations

Exterior inspected from: • Ground level

Recommendations

RECOMMENDATIONS \ Overview

4. Condition: • Insect hive(s) noted in the soffits area on the upper portion of the roof / eaves.

Implication(s): Insect hive(s) may grow larger.

Location: Rear soffits area

Task: Remove

Time: Immediate

5. Condition: • The door is not balanced properly. Adjustment is needed. (The door should stay at any height without rising or falling.)

6. Condition: • We found horizontal cracking in pre-cast concrete window sill(s). This cracking is a result of rusting and expansion of the steel reinforcing bars inside the sill. This happens occasionally when the steel is too close to the surface. It is recommended that the crack be caulked to reduce water entry, which would accelerate the rusting.

Location: Rear First Floor Exterior

Task: Repair or replace

7. Condition: • Garage door safety tips: The garage door is the largest moving object in the home. Operation of the safety mechanisms should be verified monthly. Test the reversing mechanism by laying a 2x4 block of wood flat on the floor and closing the door on the block. The door should reverse. Switches for door openers should be located as high as practical to prevent children from playing with the door. Children should be warned of the potential risk of injury.

Regular lubrication of the garage door tracks, rollers, springs, and mounting hardware is recommended.

8. Condition: • The electric eye beam was found to be functional. The door reversed when it was interrupted.

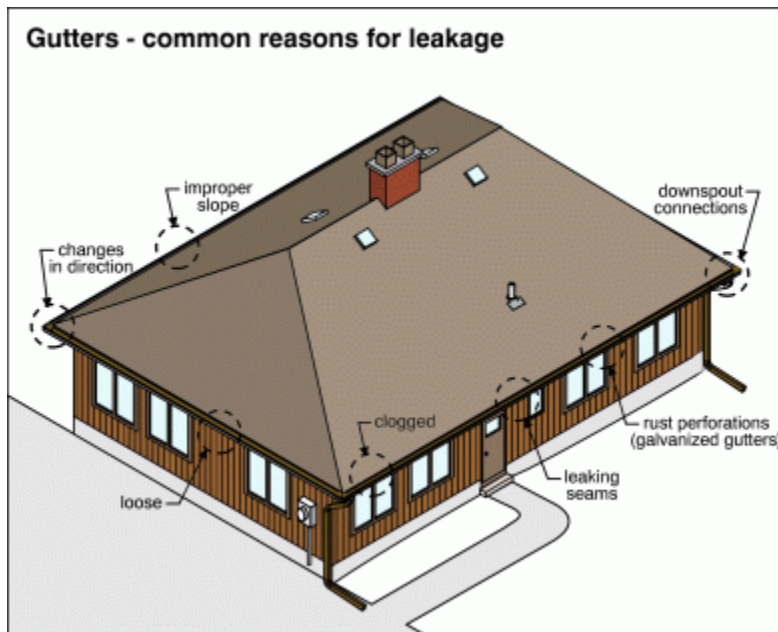
9. Condition: • There were common cracks observed. There is no action needed at this time.

ROOF DRAINAGE \ Gutters

10. Condition: • [Clogged](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various



[Click on image to enlarge.](#)

ROOF DRAINAGE \ Downspouts

11. Condition: • [Downspouts end too close to building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

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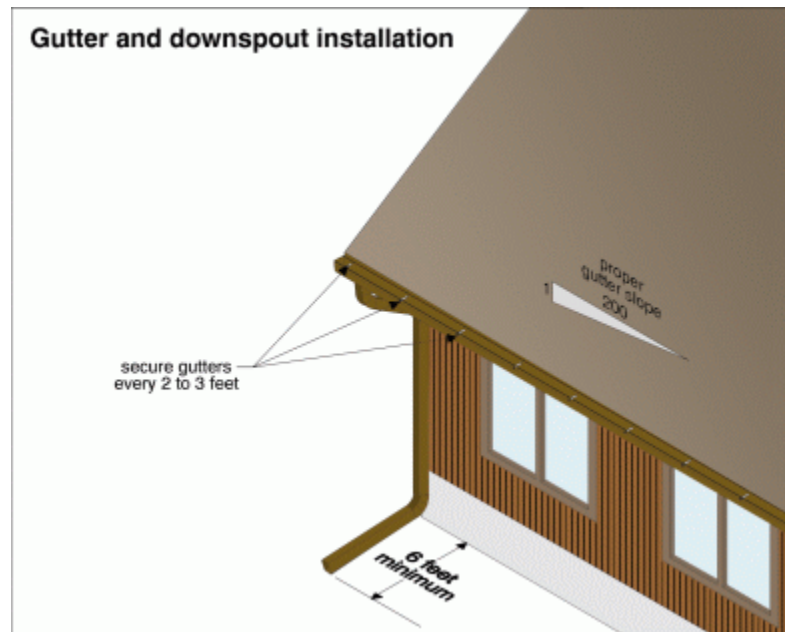
HEATING

COOLING

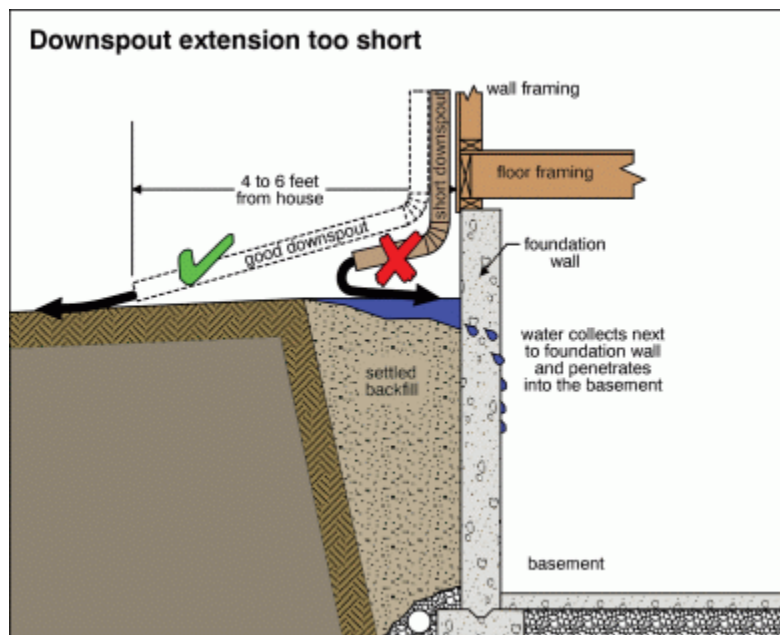
INSULATION

PLUMBING

INTERIOR



[Click on image to enlarge.](#)



[Click on image to enlarge.](#)

12. Condition: • [Not well secured](#)

Two downspout's were loose from the building.

Implication(s): Leakage

Location: Front & Rear of Property

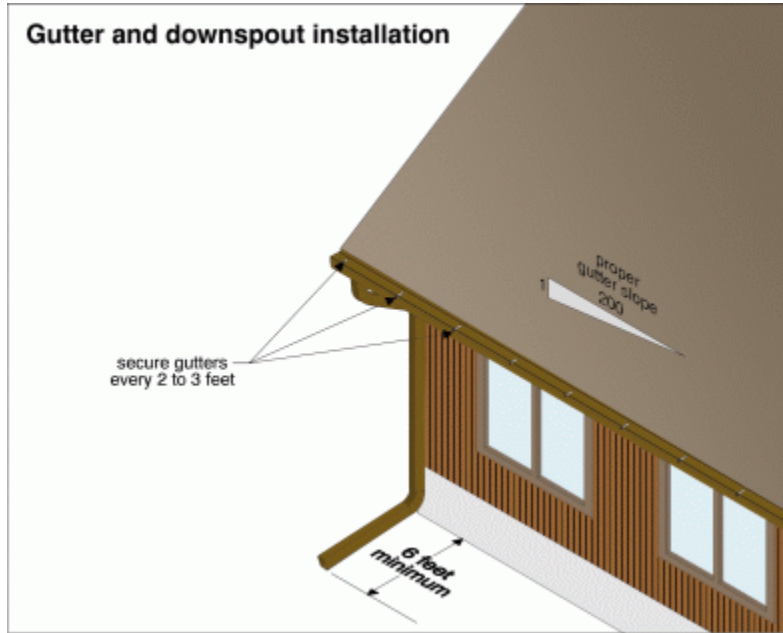
13. Condition: • Should discharge 6ft. from home

The downspout(s) should discharge water at least six (6) feet from the house. Storm water should be encouraged to flow away from the building at the point of discharge.

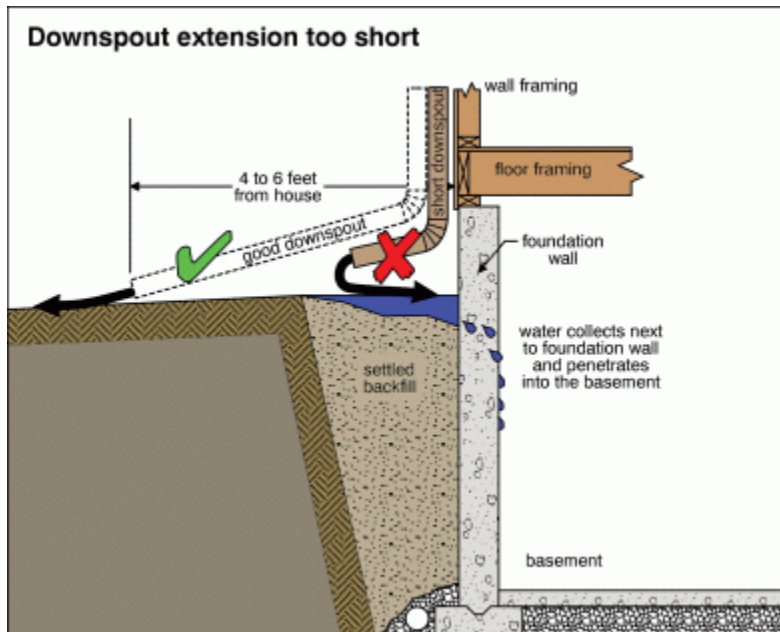
Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Rear Left Side

Task: Repair



[Click on image to enlarge.](#)



[Click on image to enlarge.](#)

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WALLS \ Soffits and fascia

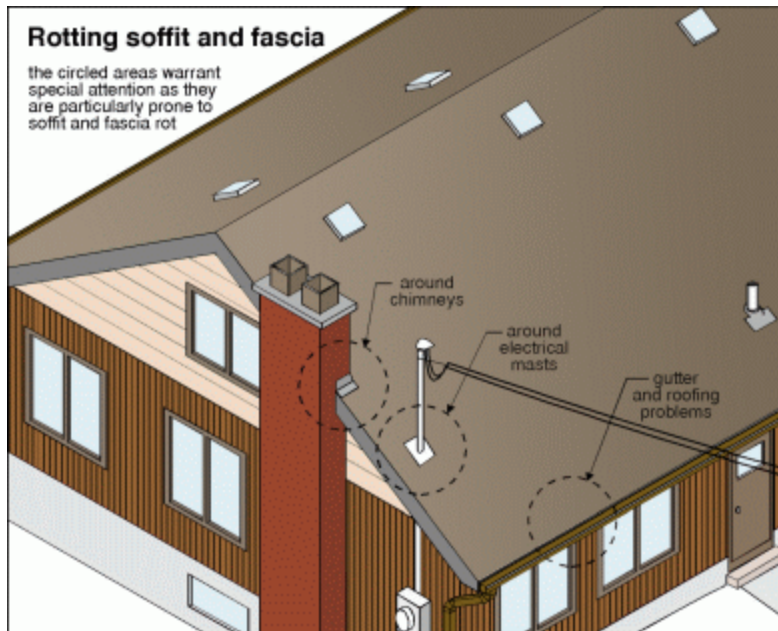
14. Condition: • [Paint or stain needed](#)

The soffit and fascia should be painted.

Implication(s): Cosmetic defects | Chance of water damage to contents, finishes and/or structure | Shortened life expectancy of material

Location: Various

Task: Improve



WALLS \ Trim

15. Condition: • The paint will need to be maintained.

The soffit and fascia should be painted.

Location: Various

Task: Improve

WALLS \ Stucco and EIFS

16. Condition: • Common minor cracks were observed on the exterior walls of the house. This implies that structural movement has occurred. The location, size, shape of these cracks is common. The inspection did not find evidence of significant movement requiring immediate major repairs.

Location: Rear Exterior Wall

Task: Monitor

EXTERIOR GLASS \ General

17. Condition: • The window located in the kitchen has a vertical crack.

Location: Kitchen

Task: Replace

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18. Condition: • The exterior surfaces of several windows were weathered. There was also fogging noted in a number of windows.

Implication(s): These windows may not with stand winds that are generated by tropical storms and/or hurricanes.

Location: North West Exterior

Task: Repair Improve

Time: When necessary

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Floors

19. Condition: • The front porch area appears to be sloped towards the main entrance – downspout area. Water may stand in this area. We recommend the downspout be routed sufficiently away from the building to prevent ponding - pooling next to the building.

Location: Front Porch

Task: Improve

PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Roof structure

20. Condition: • There was no visible flashing between the patio cover(s) and the exterior wall(s) of the rear porch cover. This condition is conducive to moisture intrusion into the interior walls and/or under the water proof surface.

Location: Front Porch

Task: Improve

Time: If necessary

LANDSCAPING \ Walk and driveway

21. Condition: • There were common cracks observed. There is no action needed at this time

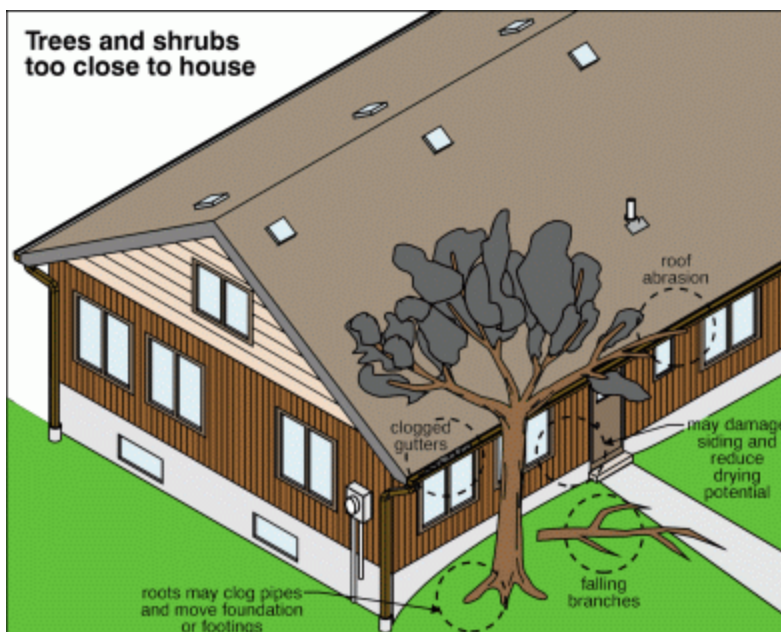
Task: Monitor

LANDSCAPING \ General

22. Condition: • [Trees or shrubs too close to house](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Chance of pests entering house | Material deterioration

Location: Various



[Click on image to enlarge.](#)

23. Condition: • [Trees or shrubs too close to house](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Chance of pests entering house | Material deterioration

Location: Various

Task: Improve

Time: Ongoing Regular maintenance

24. Condition: • [Vines](#)

Vines growing on exterior walls should be kept trimmed away from siding, window trims, and the eaves to reduce risk of insect and/or water damage.

Implication(s): Chance of damage to finishes

Location: Various

Task: Improve

25. Condition: • [Vines](#)

Planters installed around the building appear to trap water next to the foundation and/or building walls. We recommend weep holes or a drainage system be installed to protect the building from damage. There was common cracking observed in planter walls.

Implication(s): Chance of damage to finishes

Task: Improve

LANDSCAPING \ Fence

26. Condition: • Fencing/gate attached to the building should have flashing and/or the anchor holes sealed.

Implication(s): Water intrusion into wall.

Task: Repair Improve

27. Condition: • Deteriorated

Samples of the fencing is in fair to poor condition. Minor repairs may be needed. The surface of the fencing in areas appears to be deteriorated and lacking maintenance. We recommend painting and/or staining to prevent moisture damage.

Implication(s): Material deterioration

Location: Various locations

Task: Improve

Time: Ongoing Regular maintenance



2.

28. Condition: • Gate latch - adjustment needed

The gate latch mechanism needs adjustment and/or replacement to function properly.

Implication(s): Reduced operability

GARAGE \ Walls and ceilings

29. Condition: • Area above garage was converted for storage. We recommend verification and approval of installation by a licensed structural engineer or truss manufacturer's representative. Typically if the trusses/rafters are not engineered for the excess weight this could cause harm to the main structure.

Location: Garage

Task: Further evaluation

Time: If necessary

GARAGE \ Man-door into garage

30. Condition: • The man door exiting to the exterior appeared functional with exception noted. We recommend a threshold be installed to prevent water intrusion and/or elements from the exterior entering into the garage.

Location: Garage

Task: Improve

GARAGE \ Vehicle door operators

31. Condition: • Garage door opener(s) appeared functional however, they may be nearing their useful life cycle. We recommend monitoring and/or budgeting for repair/replacement.

Location: Garage

Task: Monitor

Time: When necessary

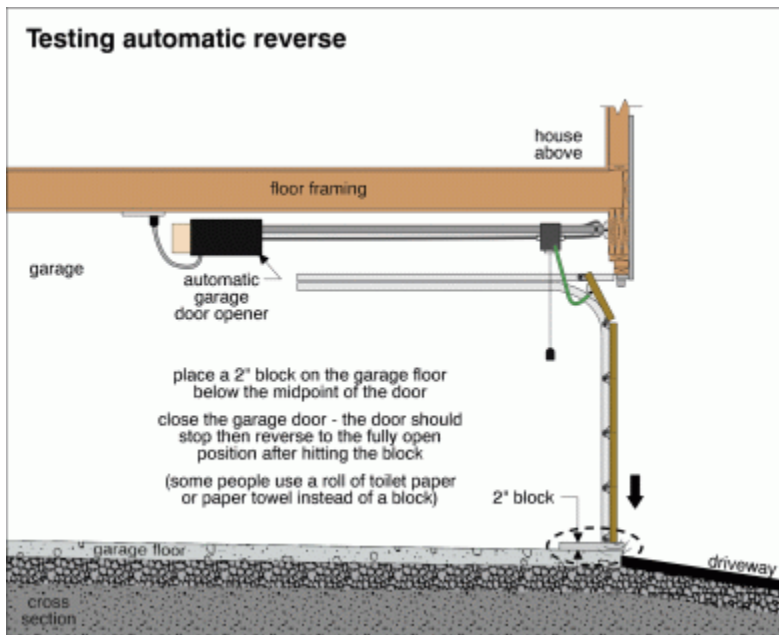
32. Condition: • [Fails to auto reverse](#)

The garage door opener did not automatically reverse under resistance to closing. There is a serious risk of injury, particularly to children, under this condition. The opener may need adjustment or replacement.

Implication(s): Physical injury

Location: Garage

Task: Repair



Click on image to enlarge.

Description

Configuration: • [Slab-on-grade](#)

Foundation material: • The foundation type is assumed to be poured concrete footers. (The foundation is concealed underground.)

Floor construction: • The floor construction is concrete slab on grade.

Exterior wall construction: • The exterior walls are constructed of block masonry.

Roof and ceiling framing: • The roof is constructed using wood trusses sheathed with plywood.

Limitations

Inspection limited/prevented by: • Wall, floor and ceiling coverings • Carpet/furnishings • Insulation

Attic/roof space: • Entered but access was limited

Percent of foundation not visible: • 100 % • 0 %

Recommendations

RECOMMENDATIONS \ Overview

33. Condition: • The interior and exterior surfaces have no signs of cracking that would indicate significant movement. Typical small cracks are present.

No structural damage was observed in the limited readily visible portions of the wood framing in the attic.

FOUNDATIONS \ Performance

34. Condition: • No defects noted

ROOF FRAMING \ Rafters/trusses

35. Condition: • [Modified or spliced](#)

There were a number of trusses cut for installation of attic access ladder.

Implication(s): Weakened structure | Chance of structural movement

Location: Garage

Task: Repair

Description

Service entrance cable and location: • [Overhead copper](#)

Service size:

• [100 Amps \(240 Volts\)](#)



3.

Main disconnect/service box type and location: • [Breakers -exterior wall](#)

System grounding material and type: • [Copper - water pipe and ground rod](#)

Auxiliary panel (subpanel) type and location: • Sub panel was not accessible.

Distribution wire material and type: • [Copper - non-metallic sheathed](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom](#) • [GFCI - outside](#) • [GFCI - kitchen](#)

Smoke detectors: • [Present](#)

Carbon monoxide (CO) detectors: • None noted

Limitations

Inspection limited/prevented by: • Sub / Auxiliary panel was not accessible.

Panel covers: • Disconnect covers are not removed by the home inspector

Circuit labels: • The accuracy of the circuit index (labels) was not verified.

Recommendations

RECOMMENDATIONS \ Overview

36. Condition: • This sub panel was not inspected. We recommend prior to the close of this transaction the sub panel be inspected for proper installation. There was a cabinet permanently installed blocking access to sub / auxiliary panel.

Location: Garage

Task: Further evaluation

37. Condition: • Today's standards require smoke detectors in all sleeping rooms, hallways adjacent to sleeping rooms. We recommend smoke detectors on each individual floor, kitchen area, furnace area.

38. Condition: • [Smoke detectors that are 10 plus years old are recommended to be replaced with new ones. At ten years smoke detectors may become desensitized and need to be replaced. When possible, it is recommended to upgrade your existing smoke detectors with interconnected ones. These types of detectors are linked together, so if one smoke detector is activated all detectors will sound.](#)

DISTRIBUTION SYSTEM \ Wiring - damaged or exposed

39. Condition: • [Exposed in attics](#)

Exposed wiring should be secured in attic area.

Implication(s): Electric shock

Location: Rear Attic

Task: Repair

Time: Immediate



4.

DISTRIBUTION SYSTEM \ Wiring - installation

40. Condition: • There was concrete poured directly against piping. This condition may cause corrosion.

Location: Left Exterior Wall

Task: Improve

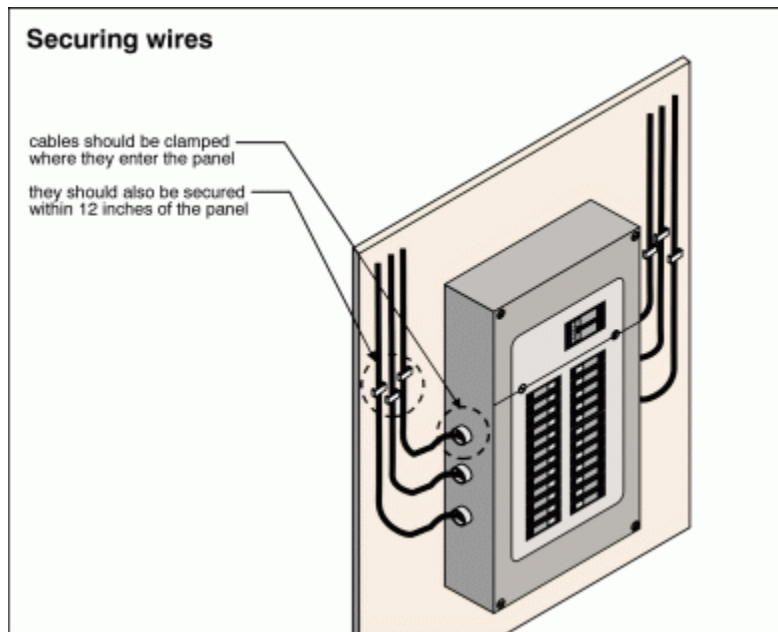
41. Condition: • [Not well secured](#)

Loose wiring should be secured in attic area.

Implication(s): Electric shock | Fire hazard

Location: Various Attic

Task: Repair



[Click on image to enlarge.](#)

DISTRIBUTION SYSTEM \ Outlets (receptacles)

42. Condition: • Receptacles located in the kitchen, bathrooms, laundry rooms, garages, exteriors, in the location of pools/spas should be GFCI protected and/or labeled as required. When a required receptacle does not appear to be GFCI protected, due to the GFCI being located in a remote location, it is assumed the circuits are not protected. The kitchen outlets are GFCI protected. We recommend labeling as required.

Location: Kitchen

Task: Improve

43. Condition: • [Inoperative](#)

An outlet at the rear of the house is inoperative. This outlet and/or circuit should be investigated.

Implication(s): Equipment inoperative

Location: Rear Exterior Wall

Task: Repair

DISTRIBUTION SYSTEM \ Smoke detectors

44. Condition: • Smoke detectors were not installed in sleeping rooms as today's standards. We recommend adding smoke detectors to each sleeping room.

Location: Bedroom Master Bedroom

Task: Improve

DISTRIBUTION SYSTEM \ Carbon monoxide (CO) detectors

45. Condition: • None

Description

Fuel/energy source: • [Electricity](#)

System type: • The air conditioning and heating system for the house is an electric air to air heat pump.

Furnace manufacturer: • Amana

Heat distribution: • [Ducts and registers](#)

Efficiency: • [Conventional](#)

Approximate age: • [15 years](#)

Typical life expectancy: • Typical life expectancy may range from 8-15 years depending on maintenance schedule.

Fireplace: • [Gas logs](#)

Chimney/vent: • [Masonry](#)

Chimney liner: • [Not visible](#)

Limitations

Fireplace/wood stove: • Quality of chimney draw cannot be determined

Electronic air cleaner: • Outside the scope of a home inspection

Recommendations

ELECTRIC FURNACE \ Life expectancy

46. Condition: • [Near end of life expectancy](#)

System appears to be nearing the end of its useful life expectancy. We recommend budgeting for high repair cost and/or replacement.

Task: Monitor Upgrade

Time: When necessary

ELECTRIC FURNACE \ General

47. Condition: • There appears to be damage to the return air plenum. There are a number of holes. Air leaks in the plenum can allow contaminated air to be drawn into the system and distributed throughout the building. And by passes the filter to help maintain the system.

Implication(s): Dirty air disturbed through out the house. Shorten the life expectancy of the unit.

Task: Repair

Time: Immediate

48. Condition: • The air filter was not seated properly and appeared not to be an adequate size. We recommend replacing the filter with the proper size and/or dimensions.

Task: Replace

49. Condition: • Openings in the air handler cases should be sealed to prevent entry of unfiltered air.

Task: Repair

ELECTRIC FURNACE \ Ducts, registers and grilles

50. Condition: • The duct / venting system is partially deteriorated and damaged. There is a loss of heat / cooled air leaking in the attic. We recommend correcting this condition.

Implication(s): Heat & cooled air loss. Higher energy cost. May cause mold/fungi growth in attic.

Location: Attic

Task: Repair Improve



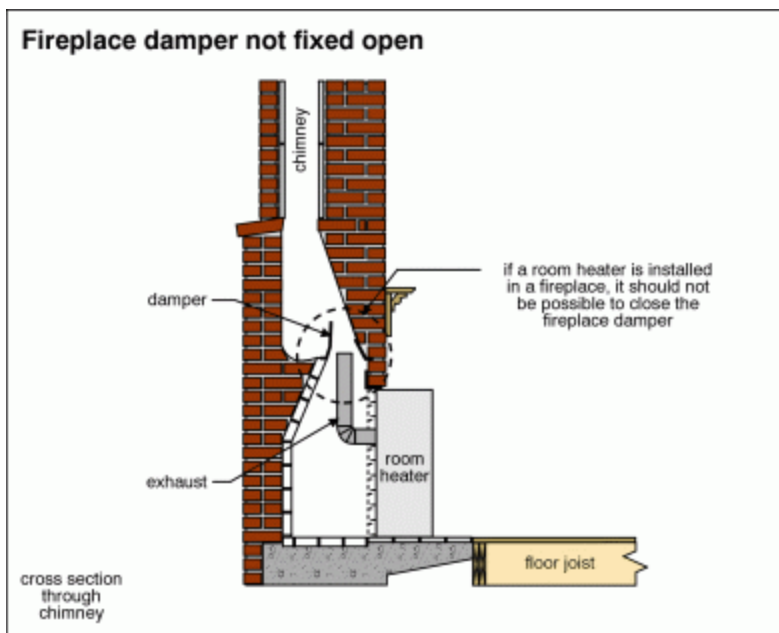
5.

FIREPLACE \ Gas fireplace

51. Condition: • [Damper in existing fireplace not fixed open](#)

Implication(s): Hazardous combustion products entering home

Task: Replace



[Click on image to enlarge.](#)

FIREPLACE \ General

52. Condition: • We recommend a level II inspection of all fireplaces by a qualified fireplace professional prior to the close of this transaction [If warranted]. Our inspection of the fireplace and chimney is limited to the readily visible portions only. The inner reaches of a flue are relatively inaccessible. Our distant oblique view from the top or bottom is not adequate to discover possible deficiencies or damage, even with a strong light. A qualified fireplace professional will clean the interior if necessary, use specialized tools, testing procedures, mirrors and video cameras as needed to evaluate the fireplace system. For safe and efficient operation we further recommend annual inspections by a qualified fireplace professional.

Task: Monitor

CHIMNEY AND VENT \ Masonry chimney cap

53. Condition: • [Rain cap missing or damaged](#)

Rain cap is rusted and may need replacement in the near future.

Task: Improve

COOLING & HEAT PUMP

2300 Sample Street, Sarasota, FL January 12, 2009

Report No. 1003, v.2

www.aainspecting.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

Description

Heat pump type: • [Air source](#)

Manufacturer: • Amana

Compressor type: • Electric

Compressor approximate age: • 15 years

Typical life expectancy: • Typical life expectancy may range from 8-15 years depending on maintenance schedule.

Failure probability: • [Medium](#)

Temperature difference: • 16°

Evaporative cooler damper location: • Left side of house

Limitations

Window unit:

• Window A/C excluded from inspection

Unit located in Lanai is excluded from the inspection. Window installed A/C units are not in the scope of a home inspection. It did operate under normal operating controls.

Recommendations

HEAT PUMP \ Life expectancy

54. Condition: • [Near end of life expectancy](#)

Implication(s): Reduced comfort

HEAT PUMP \ Refrigerant lines

55. Condition: • [Missing insulation](#)

Damaged insulation on refrigerant lines should be repaired at the exterior.

Implication(s): Reduced system life expectancy | Increased heating and cooling costs | Reduced comfort

Location: Left Side Exterior

Task: Repair

COOLING & HEAT PUMP

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

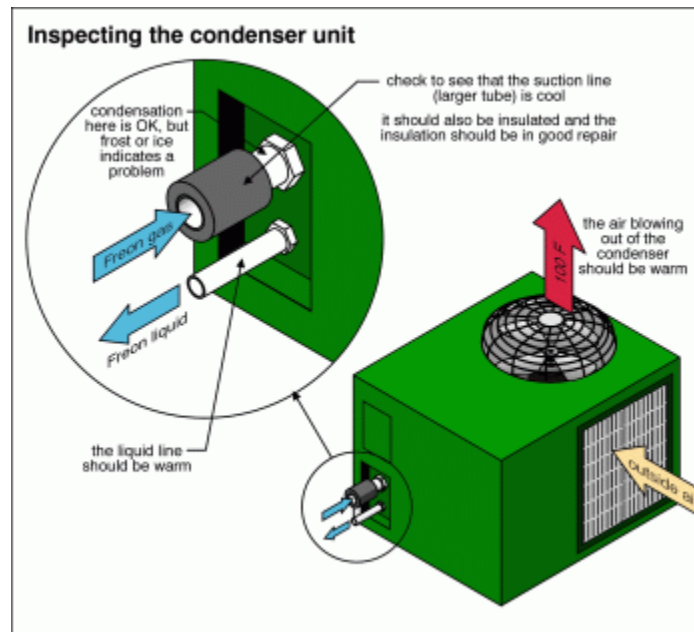
HEATING

COOLING

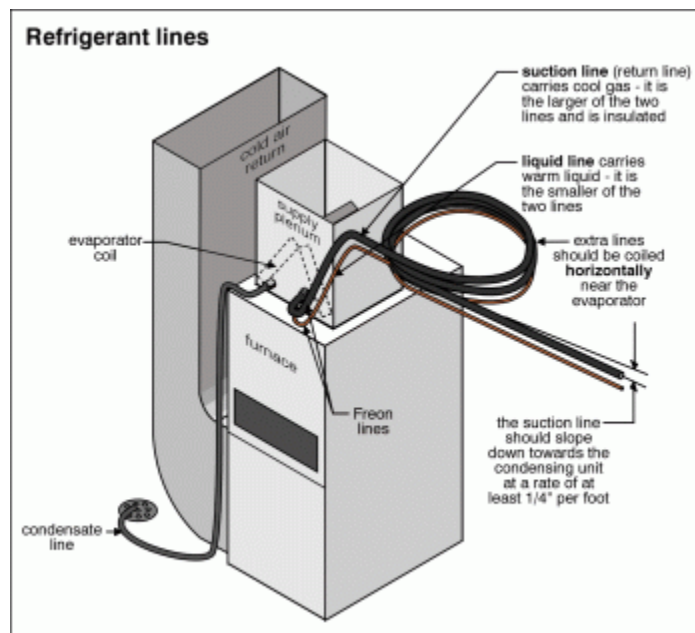
INSULATION

PLUMBING

INTERIOR



[Click on image to enlarge.](#)



[Click on image to enlarge.](#)

HEAT PUMP \ General

56. Condition: • The proper wiring and mounting of ceiling fans cannot be determined by visual observations or operational checks. Ceiling fans are heavier than standard light fixtures and require special mounting. We recommend further evaluation and correction(s) if warranted by a specialist in the appropriate trade.

Location: Bedroom Master Bedroom

Task: Further evaluation Monitor

COOLING & HEAT PUMP

2300 Sample Street, Sarasota, FL January 12, 2009

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www.aainspecting.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

57. Condition: • The condensing unit was not elevated about the surrounding grade. This condition is conducive to deterioration of the unit.

Location: Left Side Exterior

Task: Improve

INSULATION AND VENTILATION

2300 Sample Street, Sarasota, FL January 12, 2009

Report No. 1003, v.2

www.aainspecting.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

Description

Attic/roof insulation material: • Loose fiberglass

Attic/roof insulation amount/value: • R-value estimated to be 19.

Attic/roof ventilation: • [Gable vent](#)

Wall insulation material: • Not determined

Wall insulation amount/value: • Not determined

Limitations

Attic inspection performed: • From access hatch

Recommendations

ATTIC/ROOF \ Insulation

58. Condition: • Insulation is missing from a small area near the utility room.

Location: Attic Utility Room

Task: Improve

ATTIC/ROOF \ Attic staircase

59. Condition: • Attic access ladder did not fully close tight.

Location: Garage

Task: Improve

Description

Water supply source: • Public

Service piping into house: • Readily visible plumbing supply pipes are copper. (Most of the piping is concealed and cannot be identified.) Readily visible waste pipes are PVC plastic.

Supply piping in house: • [Copper](#)

Main water shut off valve at the: • Front left of home

Water flow (pressure): • [Typical for neighborhood](#)

Water heater fuel/energy source: • [Electric](#)

Water heater type: • [Conventional](#)

Water heater manufacturer: • General Electric

Tank capacity: • [40 gallons](#)

Water heater approximate age: • 5 years

Typical life expectancy: • 8 to 12 years

Water heater failure probability: • [Low](#)

Waste disposal system: • [Public](#)

Waste piping in house: • [ABS plastic](#)

Water treatment system: • Water softener

Limitations

Items excluded from a home inspection: • Water quality • Concealed plumbing • Water treatment equipment • Water heater relief valves are not tested

Recommendations

General

60. • Note that it's not possible to determine the condition of underground drain lines without running a camera through them. This is beyond the scope of a home inspection. If the home has older drain and/or sewer lines, I recommend you hire a plumber to inspect them.

61. • Be aware of the risk of scalding from water temperatures above 120° F. The risk is especially acute for infants, children, and the elderly. Water temperatures should never be set higher than 120° F. Newer water supply valves contain anti-scalding mechanisms to prevent scalding. These can be retrofitted. Note that higher water temperatures are not necessary for modern dishwashers, which heat the water.

- 62. • Valves and fixtures were operated. All fixtures were functional.
- 63. • The readily visible supply piping system appears to be in functional condition.
- 64. • The readily visible drain piping system appears to be in functional condition.
- 65. • Water was run through all fixtures and drains. Functional flow was observed. Functional drainage was observed.

RECOMMENDATIONS \ Overview

- 66. **Condition:** • The leak detector on the water meter was observed and no leaks appear to be present.

WATER HEATER \ Life expectancy

- 67. **Condition:** • [Low failure probability](#)

WATER HEATER \ Tank

- 68. **Condition:** • Safety pan and drain missing

There was no drip pan and drain line under the water heater to catch and divert any dripping water to the exterior. We recommend a pan and drain line be installed for water heaters located in interior spaces or where damage may occur to personal belongings.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Utility Room

Task: Improve

WATER HEATER \ Temperature/pressure relief valve

- 69. **Condition:** • The temperature pressure relief valve on the water heater should be tested upon moving in and on a regular basis thereafter. This is an important safety device that prevents the water heater from exploding in the rare event of a defect in the built in operating and safety controls. We do not test these valves.

Location: Utility Room

Task: Service

Time: Ongoing

FIXTURES AND FAUCETS \ Faucet

- 70. **Condition:** • The faucet is showing signs of age. Updating faucet(s) over time should be anticipated.

Location: Kitchen

Task: Improve

FIXTURES AND FAUCETS \ Shower stall enclosure

- 71. **Condition:** • [Caulking loose, missing or deteriorated](#)

The shower faucet pipe in the hallway bathroom needs to be sealed at the wall. This condition is conducive to moisture intrusion into concealed spaces.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Hallway Bathroom

Task: Repair

FIXTURES AND FAUCETS \ Hose bibb

72. Condition: • It is recommended that an anti-siphon device(s) be added to the hose bib(s) in the exterior.

Location: Various Exterior

Task: Improve

73. Condition: • [Leak or drip](#)

The hose bib is leaky during operation at the exterior rear of the building.

Location: Rear Exterior Wall

Task: Repair

Description

Major floor finishes: • [Carpet](#) • [Ceramic](#) • Engineered wood

Major wall finishes: • [Plaster/drywall](#)

Major ceiling finishes: • [Plaster/drywall](#)

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows: • [Sliders](#) • Vinyl

Glazing: • [Double](#)

Exterior doors - type/material: • Hinged • [Plastic/fiberglass](#) • Vinyl-clad • Garage door - metal

Doors: • Inspected

Oven type: • Conventional

Oven fuel: • Electricity

Range fuel: • Electricity

Appliances: • Refrigerator • Range hood • Dishwasher • Waste disposal • Microwave oven • Door bell

Laundry facilities: • Washer • Laundry tub • Hot/cold water supply • Dryer • Vented to outside • 120-Volt outlet • 240-Volt outlet • Waste standpipe

Limitations

Inspection limited/prevented by: • Carpet • Storage/furnishings • Storage in closets/cupboards

Not included as part of a home inspection: • Carbon monoxide detectors, security systems, central vacuum • Cosmetic issues

Appliances: • Self-cleaning features on ovens not tested • Effectiveness of dishwasher drying cycle not tested • Appliances are not moved during an inspection

Recommendations

General

74. • Minor cracks are found on interior surfaces in all buildings and are typically cosmetic in nature. This type of cracking is usually caused by settlement, shrinkage of building components or thermal expansion and contraction. Small cracks of this type are not mentioned in the report.

Location: Various

Task: No action needed at this time

WINDOWS \ Glass (glazing)

75. Condition: • Safety glass not installed

Safety glazing could not be verified on the windows located above the tub area. We recommend verification of safety glass and/or replacement for safety reasons. In the event someone slips and falls into the window they could become severely injured. We recommend correcting the condition(s) noted.

Implication(s): Physical injury

Location: Master Bathroom

Task: Repair Further evaluation

DOORS \ Doors and frames

76. Condition: • Door(s) should be trimmed or adjusted as necessary to work properly

Location: Master Bedroom

Task: Improve

DOORS \ Hardware

77. Condition: • Damaged or non-functional door hardware should be improved. The door latch was installed improperly and the door fails to close and latch properly.

Location: Master Bedroom

Task: Repair

CARPENTRY \ Cabinets

78. Condition: • Missing cabinet handles should be installed.

Location: Kitchen

Task: Improve

CARPENTRY \ Countertops

79. Condition: • There appears to be a small gap between countertop and wall. We recommend caulking and/or sealing gap.

Location: Kitchen

GARAGE \ Floor

80. Condition: • Minor cracks observed.

Location: Garage

Task: No action at this time

APPLIANCES \ Oven

81. Condition: • Anti-tipping device missing

The range/oven lacked an anti-tip device at the rear as required. This condition is a topple hazard for young children.

Implication(s): Physical injury

Location: Kitchen

Task: Improve

APPLIANCES \ Dishwasher

82. Condition: • Noisy

Implication(s): Noise nuisance

Location: Kitchen

APPLIANCES \ Dryer

83. Condition: • We recommend that you make sure your dryer vent is made of proper materials, and is properly installed. You should do this before closing, when you have a good opportunity to observe the dryer vent. Here's why we make the recommendations: The U.S. Consumer Product Safety Commission (CPSC) estimates that in 1997, there were 16,700 fires, 30 deaths and 430 injuries associated with clothes dryers. Some of these fires occur when lint builds up in the filter or in the exhaust duct. Under certain conditions, when lint blocks the flow of air, excessive heat build-up can cause a fire in some dryers.

84. Condition: • Dryer Maintenance: Adequate venting of your dryer is a priority. Vents clogged with lint, or crushed or kinked vents can and do cause fires. The vent itself and the outlet screen should be cleaned of lint and debris twice a year. We recommend you clean this vent upon moving into the home. During a typical home inspection, we usually can't observe or evaluate any of the dryer vent. Often, the dryer itself blocks our view of the vent. In most cases, much of the vent is hidden by finish materials (such as wallboard), and insulation.

Location: Utility Room

Task: Clean

Time: Ongoing

END OF REPORT